

PLAN OF SUBDIVISION

LV USE ONLY
EDITION

PLAN NUMBER
PS 845142R

LOCATION OF LAND

PARISH: SHERWOOD

TOWNSHIP: -

SECTION: -

CROWN ALLOTMENT: 21D, 21E & 21F (PARTS)

CROWN PORTION: -

TITLE REFERENCES: Vol. Fol.

LAST PLAN REFERENCE/S: LOT F ON PS 838330F

POSTAL ADDRESS: BOTANIC DRIVE
(At time of subdivision) JUNCTION VILLAGE, VIC. 3977

MGA2020 Co-ordinates E 350 050
(of approx centre of N 5 777 760
land in plan) ZONE 55

COUNCIL NAME: CITY OF CASEY

VESTING OF ROADS AND/OR RESERVES

NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON
ROAD R1	CITY OF CASEY
RESERVE No.1	CITY OF CASEY
RESERVE No.2	CITY OF CASEY

LOTS 1 TO 700 (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.

FOR RESTRICTION A AFFECTING LOTS 701 TO 715 (BOTH INCLUSIVE) SEE SHEET 5

FOR RESTRICTION B AFFECTING LOTS 710 AND 711 SEE SHEET 5

OTHER PURPOSE OF THIS PLAN:

ANY EASEMENTS SHOWN ON PREVIOUS PLANS AS IT AFFECTS ROADS R1 ON THIS PLAN ARE REMOVED VIDE SCHEDULE 5, CLAUSE 14 OF THE ROAD MANAGEMENT ACT 2004.

NOTATIONS

DEPTH LIMITATION: DOES NOT APPLY

STAGING: THIS IS/IS NOT STAGED SUBDIVISION.

PLANNING PERMIT No. PLN A01023/15

SURVEY: THIS PLAN IS/~~IS NOT~~ BASED ON SURVEY.

THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s):
CRANBOURNE PM168, SHERWOOD PM 102

In Proclaimed Survey Area No. PSA 52

OCTAVE - 7
1.017ha

15 LOTS

EASEMENT INFORMATION

LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	SEWERAGE	SEE PLAN	THIS PLAN	SOUTH EAST WATER CORPORATION

80012PS-063D.DWG

SURVEYOR REF: 80012ps-063d

ORIGINAL SHEET
SIZE: A3

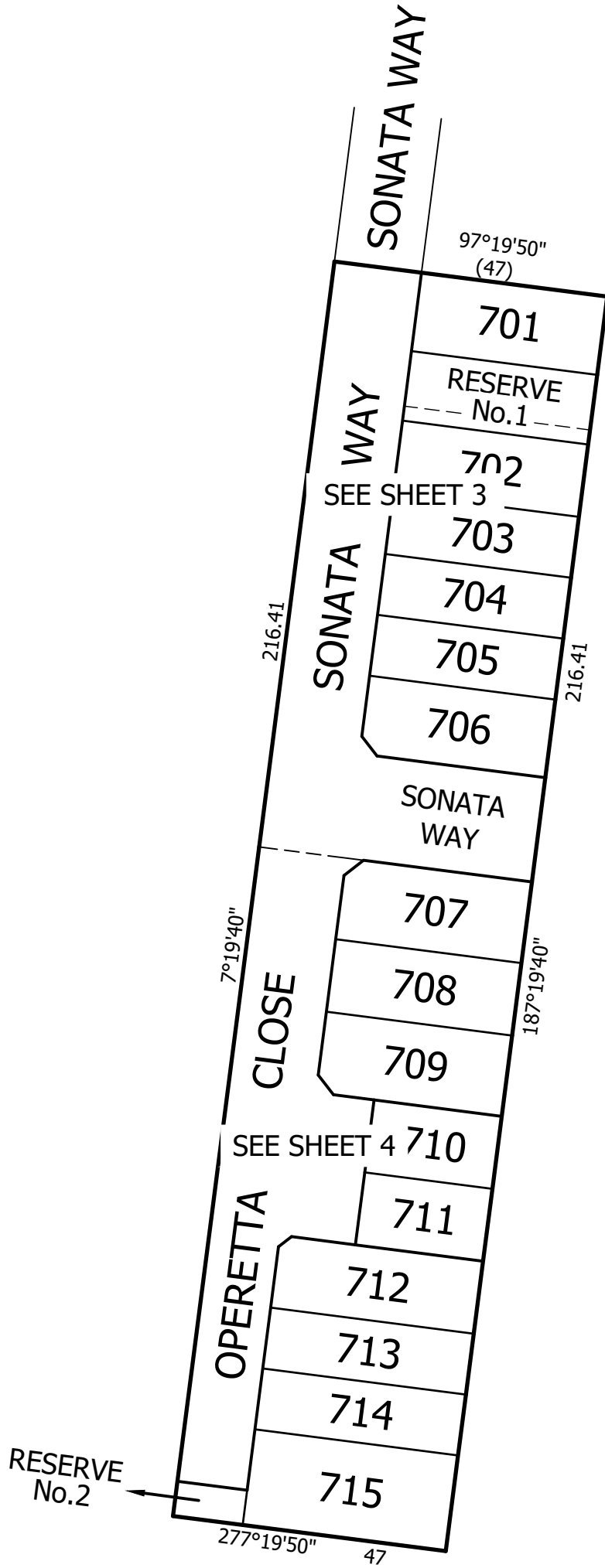
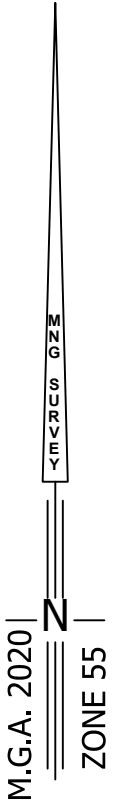
SHEET 1 OF 5



MC MULLEN NOLAN GROUP
31/574 Plummer Street
Port Melbourne VIC 3207
Tel: (03) 7002 2200
Fax: (08) 7002 2299
Email: info@mngsurvey.com.au

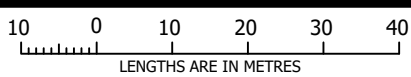
MATTHEW DUNN

VERSION 3



80012PS-063D.DWG
 MC MULLEN NOLAN GROUP
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 Fax: (08) 7002 2299
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SCALE
1:1000



ORIGINAL SHEET
SIZE: A3

SHEET 2

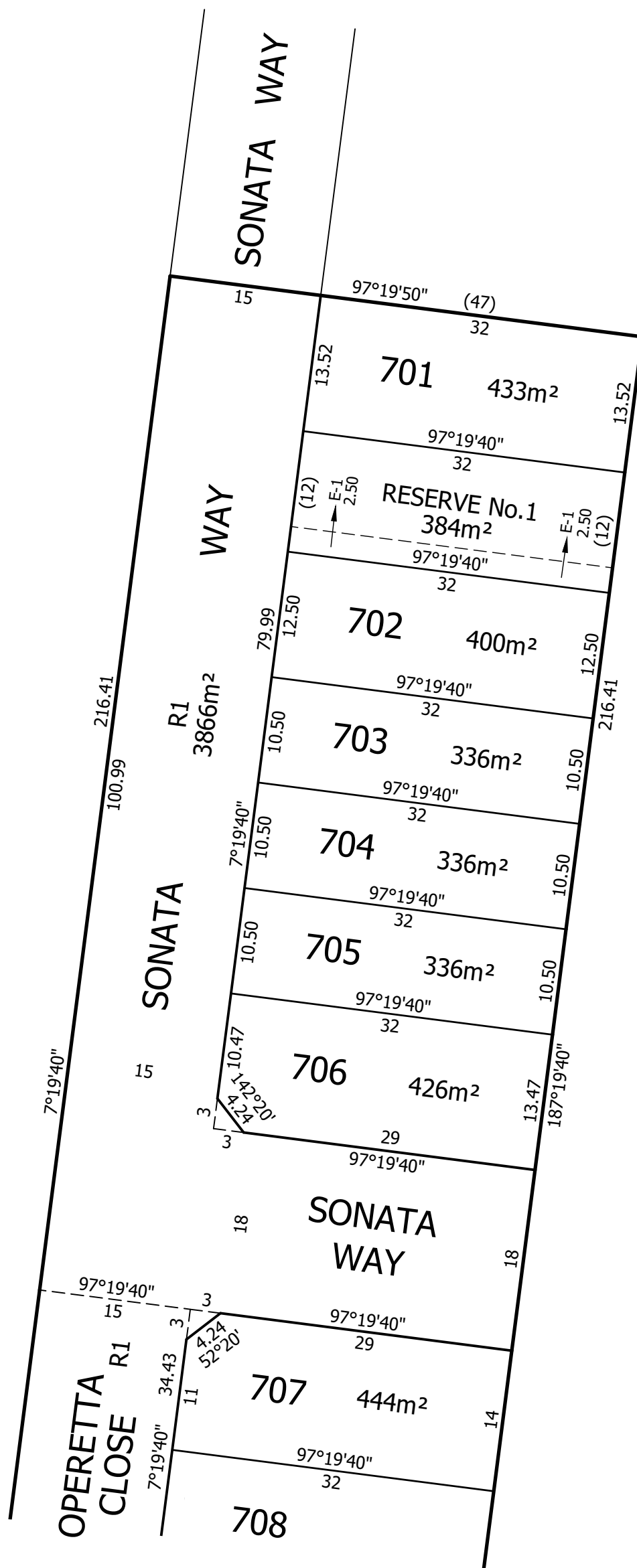
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PLAN OF SUBDIVISION

PLAN NUMBER
PS 845142R

M.G.A. 2020 |
N
ZONE 55 |



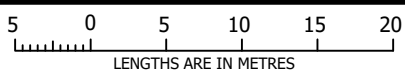
SEE SHEET 4

80012PS-063D.DWG



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SCALE
1:500



ORIGINAL SHEET
SIZE: A3

SHEET 3

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VERSION 3

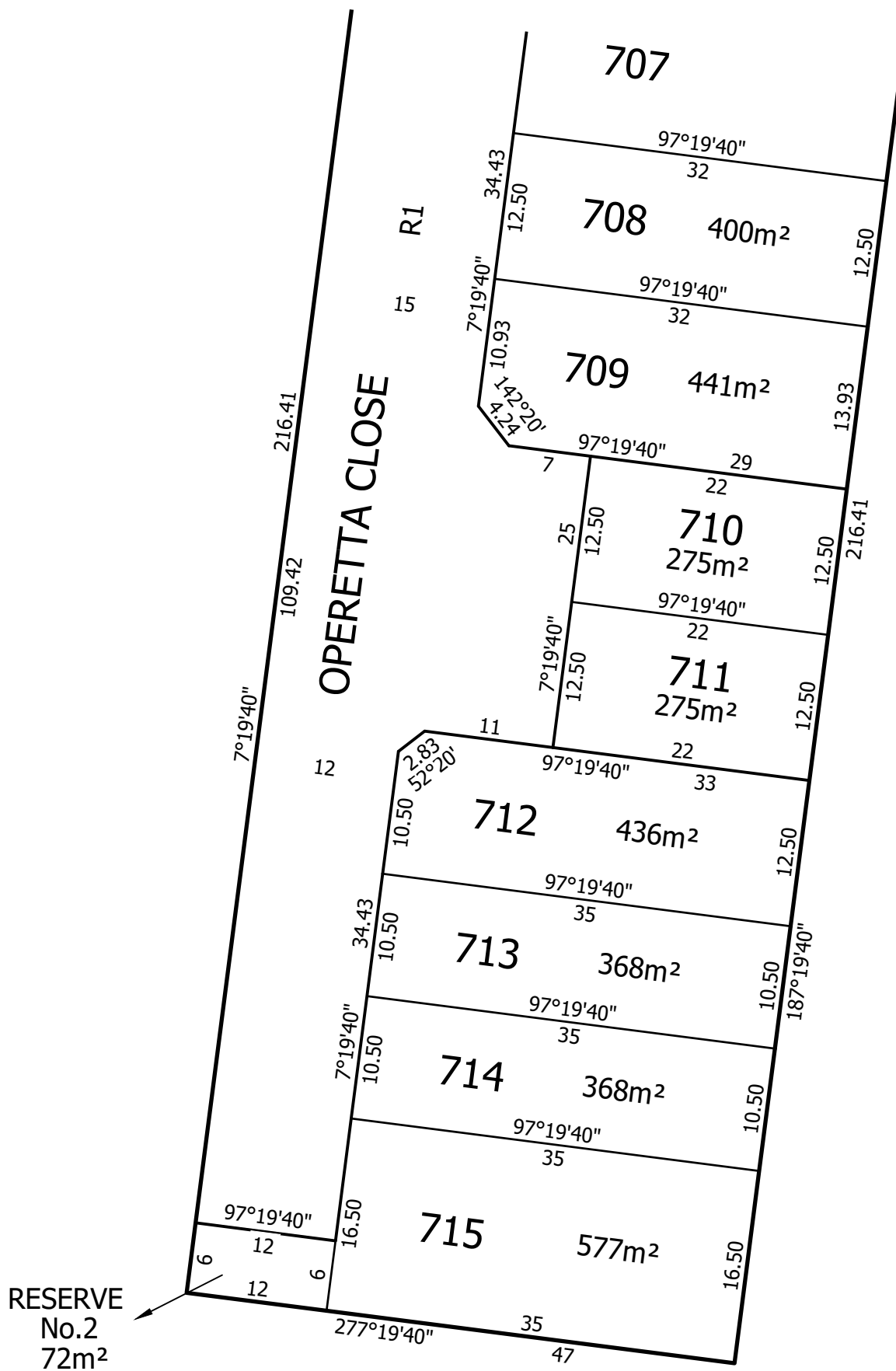
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SEE SHEET 3

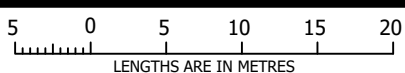
M.G.A. 2020 |
N
ZONE 55 |

KMCRCS GNM



80012PS-063D.DWG

SCALE
1:500



ORIGINAL SHEET
SIZE: A3

SHEET 4



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MATTHEW DUNN

VERSION 3

SUBDIVISION ACT 1988

CREATION OF RESTRICTION A

Upon registration of this plan the following restriction is created.

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Land to benefit & to be burdened
Lots 701 to 715 (both inclusive)

Description of Restriction

Except with the written consent of the 'Octave at the Junction Village' assessment panel, the burdened lot shall not:

- (1) Construct or allow to be constructed any building or structure other than a building or structure that shall be constructed in accordance with the design guidelines endorsed by City of Casey under Town Planning Permit No. PlnA01023/15 as amended from time to time. A copy of the design guidelines is available on the *Project Website* and within the Contract of Sale.
- (2) Construct or allow to be constructed any building or structure on the lot prior to 'Octave at Junction Village' design assessment panel or such other entity as may be nominated by 'Octave at Village Junction' design assessment panel from time to time have given its written approval to the plans and documentation prior to the commencement of works.

Expiry

This restriction ceases to have effect following after either:

- (i) The issue of an occupancy permit under the Building Act 1993 (or similar) in respect of a building on every residential lot on this plan.
- (ii) 30th June 2031.

CREATION OF RESTRICTION B

Upon registration of this plan the following restriction is created.

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Table of Land Burdened and Land Benefited

Burdened Land	Benefited Land
710	709, 711
711	710, 712

Description of Restriction

The registered proprietor or proprietors for the time being for any burdened lot on this plan in the table a lot subject to the "Small Lot Housing Code (Type A)" must not build or permit to be built or remain on the lot any building or structure that has not been constructed in accordance with the "Small Lot Housing Code (Type A)" unless in accordance with a planning permit granted to construct a dwelling on the lot.

Expiry

This restriction ceases to have effect following after either:

- (i) The issue of an occupancy permit under the Building Act 1993 (or similar) in respect of a building on every residential lot on this plan.
- (ii) 30th June 2031.

